

THE CORPORATION OF THE

TOWN OF PELHAM

BY-LAW NO. 2763 (2006)

Being a by-law to amend Zoning By-law No. 1136
(1987), as amended. (820 Canboro Road)

WHEREAS Sections 34 and 39 of the Planning Act, R.S.O. 1990, as amended, provide that the governing body of a municipal corporation may pass by-laws to regulate the use of lands and the character, location and use of buildings and structures;

AND WHEREAS the Council of the Town of Pelham has been requested to authorize a temporary use by-law for the lands shown hatched on Schedule 'A' attached hereto, for a three (3) year period, for the purpose of allowing the conversion of an existing detached garage for a single family detached dwelling;

AND WHEREAS the General Committee, Planning Services Division, of the Town of Pelham recommended at its regular meeting of May 1, 2006, that the temporary use by-law be permitted for a period of three (3) years;

AND WHEREAS, pursuant to Section 39 of the Planning Act, the Council of the Town of Pelham has deemed it to be in the public interest that such a by-law be enacted;

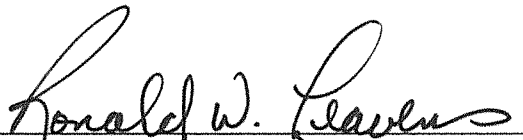
NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWN OF PELHAM ENACTS AS FOLLOWS:

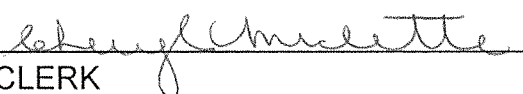
1. THAT Section 30 (Exceptions) to Zoning By-law No. 1136 (1987), as amended, is hereby amended by deleting subsection RV1-172 and by adding the following subsection:

"RV1-172 In addition to the permitted uses of the Residential Village 1 "RV1" Zone nothing shall prevent the temporary use of the lands indicated as "RV1-172" on Schedule 'A' of this temporary use by-law for the purpose of converting an existing detached garage for use as a single detached dwelling for a period of three (3) years from May 15, 2006 to May 15, 2009."

3. That this By-Law shall come into force and take effect pursuant to Sections 34(21) and 34(30) of the Planning Act, R.S.O. 1990, as amended.

READ A FIRST, SECOND AND THIRD TIME
AND FINALLY PASSED BY COUNCIL THIS
15TH DAY OF MAY, 2006 A.D.


MAYOR


CLERK