

## EXPLANATION OF THE PURPOSE AND EFFECT OF BY-LAW NO. 2765 (2006)

The subject lands are located on the west side of Cream Street, lying between River and Webber Roads. The lands are legally described as part of Lot 12, Concession 14, former Township of Pelham, now Town of Pelham and known municipally as 110 Cream Street.

The subject lands are currently zoned Agricultural A according to Zoning By-law No. 1136 (1987), as amended. Part 1 is to be rezoned to Agricultural A-208 in order to:

- Increase the maximum lot coverage for all buildings from 10% to 12% in order to recognize the various buildings proposed to be retained and to permit the eventual construction of an 84 square metre (900 square foot) addition to the existing dwelling; and
- Increase the maximum lot coverage for residential accessory buildings from 1% to 9.4%; and
- Decrease the rear yard setback for a residential accessory building from 3 metres to 2.5 metres; and
- Increase the maximum building height for a residential accessory building from 3.7 metres to accommodate the existing structures;

The By-law also rezones Part 2 to Agricultural A-13, which provision prohibits the use of lands for residential purposes.



Approval of this By-law is a requirement of an application for consent to sever.

File No: AM-10/05  
Applicant: Frank Svob  
Assessment Roll No.: 2732 010 018 13000  
Planning Report No.: P-13/06

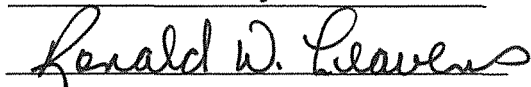


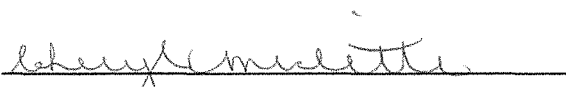
SCHEDULE 'A' - KEY MAP  
TOWN OF PELHAM



Subject Lands:    Part 1 -     Part 2 - 

This is Schedule 'A' to By-law No. 2765 (2006) passed the 15th day of  
May \_\_\_\_\_, 2006.

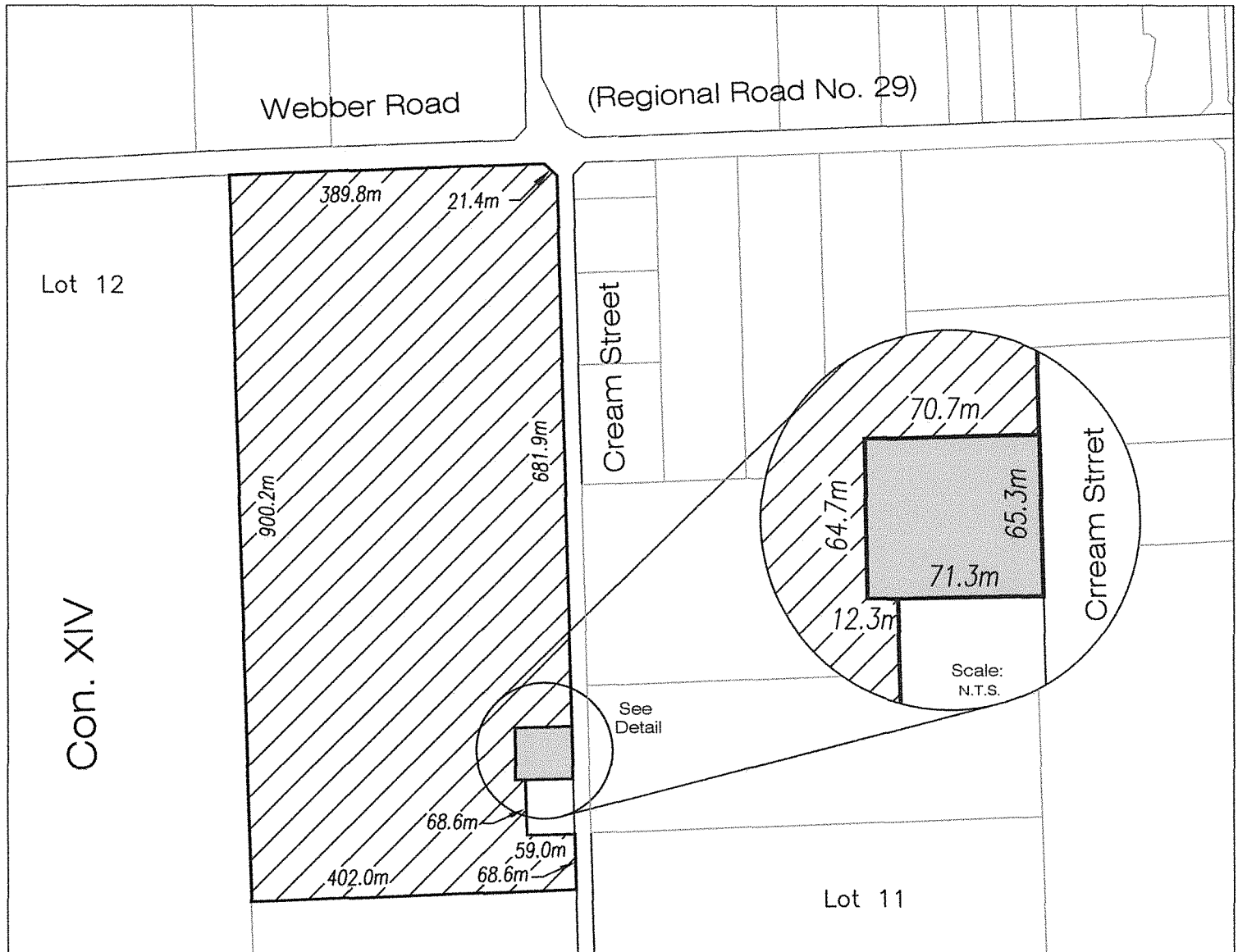
  
MAYOR: RONALD W. LEAVENS



  
CLERK: CHERYL MICLETTE



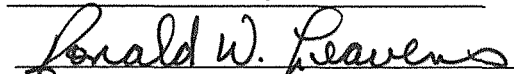
# SCHEDULE 'B' - DETAIL MAP

## TOWN OF PELHAM



Subject Lands: Part 1 -  Part 2 - 

This is Schedule 'B' to By-law No. 2765 (2006) passed the 15th day of  
May, 2006.

  
MAYOR: RONALD W. LEAVENS

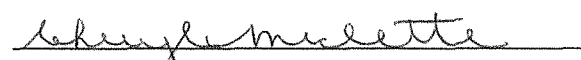
  
CLERK: CHERYL MICLETTE

Declaration

Under Section 34(22) of the Planning Act, R.S.O. 1990, as Amended

I, CHERYL MICLETTE, Clerk of the Town of Pelham, Regional Municipality of Niagara, hereby certify that the notice for By-Law #2765 (2006) of Pelham, passed by the Council of the Corporation of the Town of Pelham on the 15th day of May, 2006, was given in the manner and form and to the persons and agencies prescribed by regulation made by the Lieutenant Governor-in-Council under subsection 18 of Section 34 of the Planning Act, R.S.O. 1990, as amended. I also certify that the 20 day objection period expired on the 5<sup>th</sup> day of June, 2006, and to this date no notice of objection or request for a change in the provisions of the by-law has been filed by any person or agency in the Office of the Clerk.

DATED this 6th day of June, 2006.

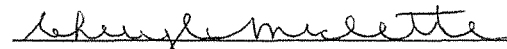
  
CHERYL MICLETTE, CLERK

Declaration

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DATED this 6th day of June, 2006.

  
CHERYL MICLETTE, CLERK